

5. RESIDENTIAL EXTENSIONS

5.1 Introduction

Extensions to existing dwellings are required usually because of the changing space requirements of the occupants and their decision not to find the accommodation in another property elsewhere. However, these additional space requirements need to take into account fully the amenities of adjacent householders and the appearance of extended property. The aim of this section is to direct homeowners to consider the facts which determine the suitability of an extension.

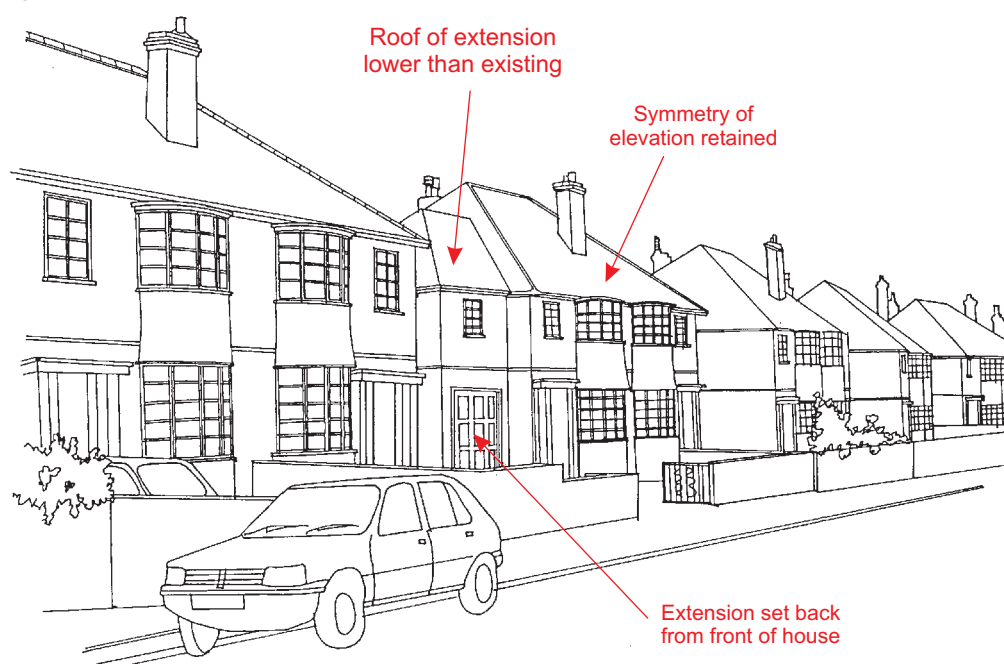
The standards which apply to new residential development with respect to spacing, privacy, garden provision and car parking do not always apply to home extensions. With new residential development, there are not always existing neighbours whose amenity must be safeguarded. The guidance given in this section will be used in evaluating planning applications for extensions. In addition to these standards there are a number of general principles which constitute good practice when extending a dwelling, and a number of issues which arise with particular types of extension.

5.2 Specific design considerations:

5.2.1 Set back - set down

All extensions should adhere to the same basic design principles as new development, but in addition the following specific considerations apply:

The extension should be set back no less than 18" (45cm) from the front wall, and any two storey extension should have its ridgeline set lower than the existing one. Setting back of an extension has the benefit of providing a design break between old and new, and also enables the extension to be visually subordinate to the original building. It also helps to disguise different brick course heights, avoids damage to bonding with an existing face and maintains the separation of eaves details. It is important for extensions to be "subordinate" so that the original building is recognisable which is especially important with semi-detached properties, and where there are a number of similar buildings in the street.





5.2.2 Volume

The extension should have a smaller volume than the original building. The scale of a single extension or its cumulative effect when added to earlier ones must be in keeping with the original building, and other houses in the area.

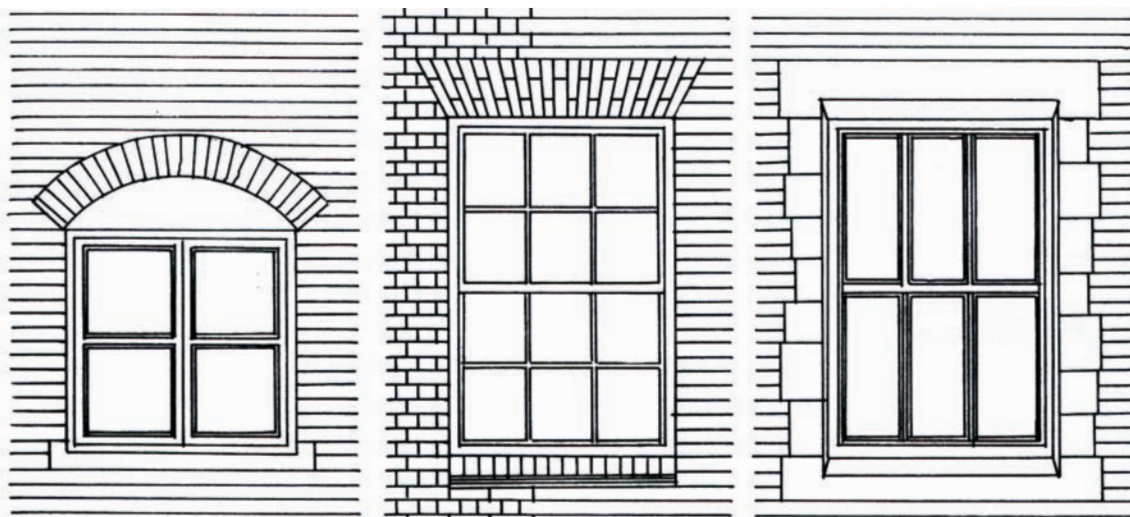
5.2.3 Pitched roof

All extensions should have a pitched roof, and flat roofed two storey extensions will normally be refused. Pitched roofs should have the same pitch, shape, materials and eaves treatment as the existing dwelling.

Whilst sometimes initially cheaper to construct, flat roofs are a poor long term investment due to high maintenance costs. Visually they are usually inferior and so detract from the appearance of the home. Where circumstances dictate that flat roofs are unavoidable, for example to save obscuring a window, partial pitched roof should be used to improve the appearance of the most visible elevations.

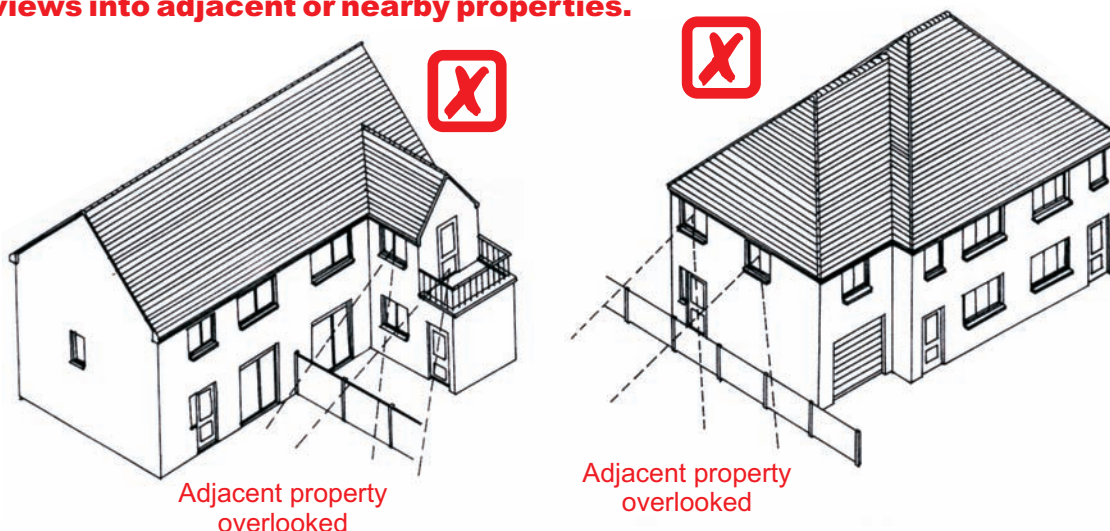
5.2.4 Glazing

All extensions should incorporate windows of the same proportions, materials, glazing pattern, cill and lintel treatments as are in keeping with the period of the building and match in design the shape, size and alignment of openings. This is important to ensure that they respect the scale and character of the original dwelling.



5.2.5 Overlooking/overshadowing

Extensions should not overshadow or overlook adjacent properties or their gardens. Extensions can intrude on the privacy of neighbours. In order to avoid situations which diminish the privacy of a neighbour's property, **the Council will resist balconies, first floor conservatories and flank windows which permit views into adjacent or nearby properties.**



5.2.6 Orientation

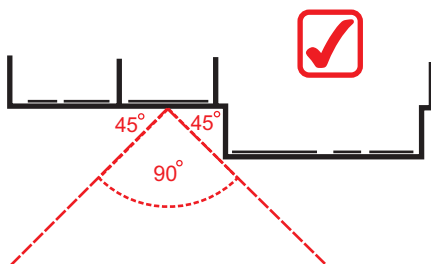
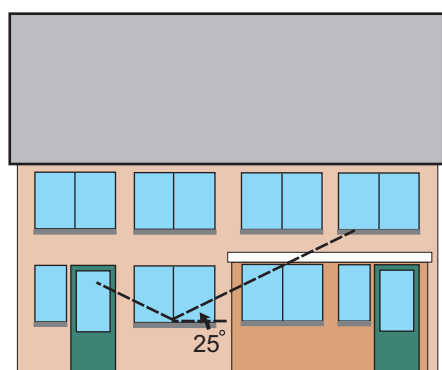
Guidance is given in section 4.9 “Siting of buildings to buildings” in this document on overlooking, and general spacing arrangements which should help to prevent overshadowing. However, careful attention needs to be paid to the orientation of the existing and adjacent properties. *Two storey extensions should not be located on a southernmost boundary where they would overshadow a neighbour's garden, and the direction of the roof slope should be chosen to minimise the length of the shadow.*

5.2.7 Terracing

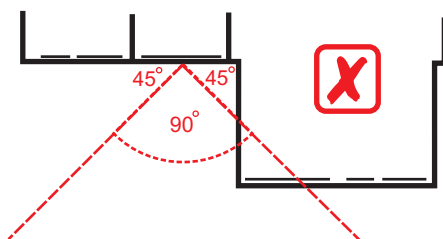
Extensions should not result in an unacceptable terracing effect, or be otherwise intrusive or over dominant in the street scene.

5.2.8 The 45° Rule

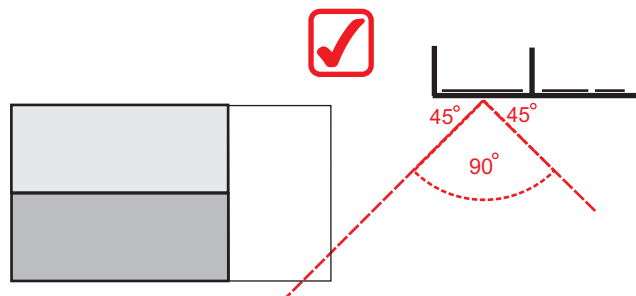
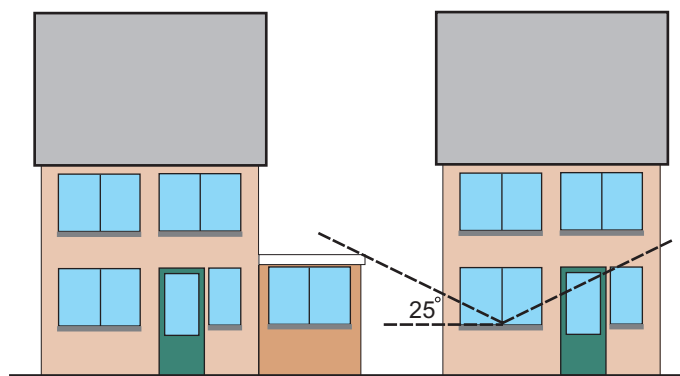
The 45° Rule is a standard guide based upon a recommended British Standard Code of Practice. Taking the mid-point of the cill of the principal window, measure two 45° angles from the window pane. The centre angle will be 90°. The plane joining the two lines should then be tilted to an angel of 25° above the horizontal, and there should not be any obstruction of the light to this plane. The illustrations below help to show this.



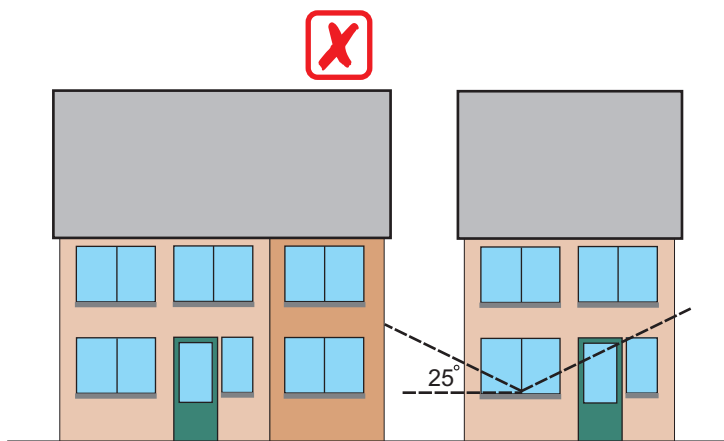
Depth of extension limited and not causing any obstruction to the light



Extension too deep and blocking light to windows and would not be acceptable



Although the extension causes some obstruction, as it single-storey it remains below the 25° line



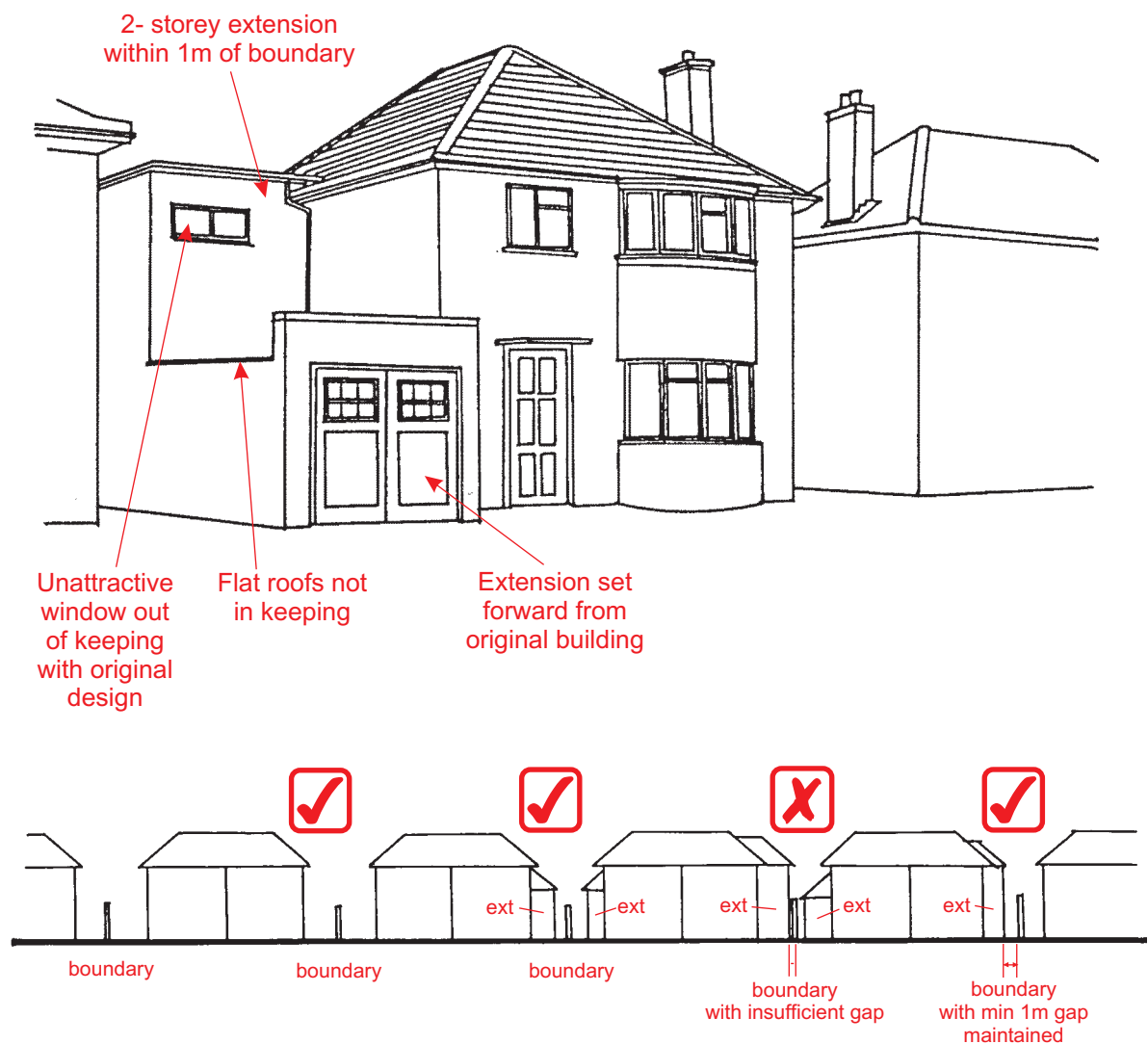
This 2-storey extension breaks the 25° line rule

5.3 Types of extension:

5.3.1 Side extensions

Probably the most common type of extension is at the side of the house because this means existing rooms can remain unaltered, and a non-centrally located staircase provides access to any first floor.

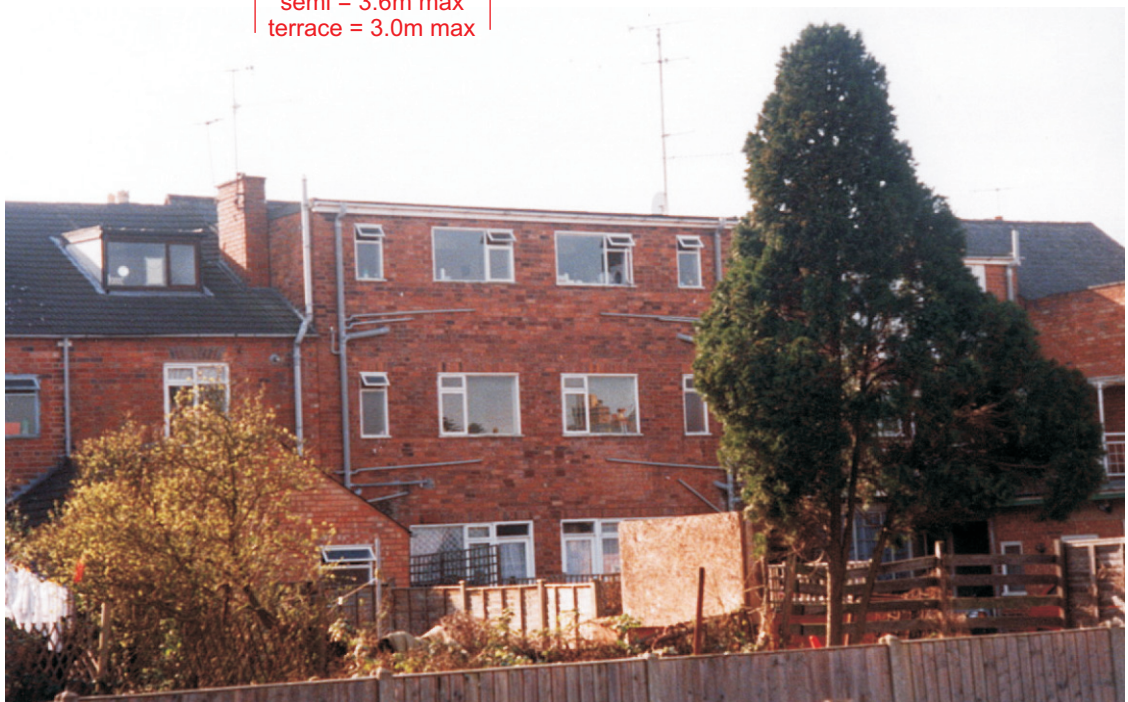
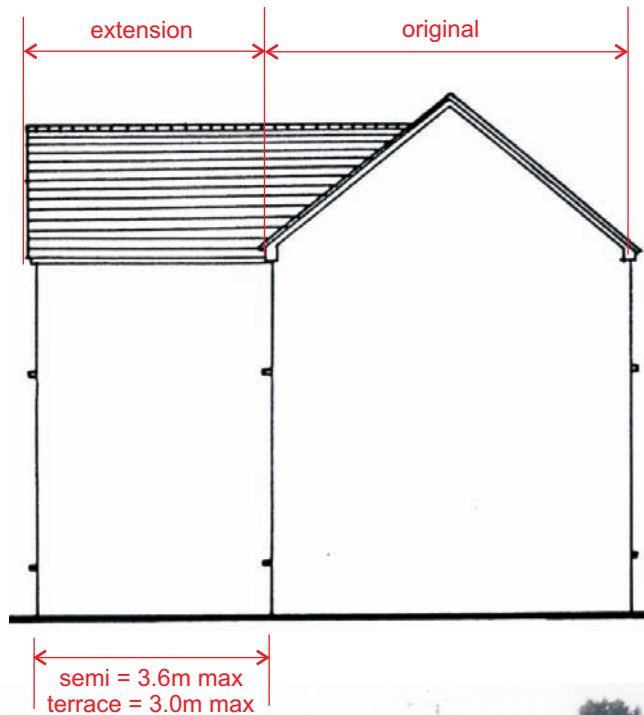
The general principles identified above apply, especially those referring to the set back of the front wall, the set down of the roof ridge and the shape of the roof. A significant consideration of any side extension where a neighbouring property is close to the common side boundary is the terracing effect of the proposal. Generally, **two storey extensions will not be permitted within 1 metre (3.3 feet) of such a boundary**. The important issue is to maintain the visual rhythm of buildings and spaces in the street, which may require larger than 1m visual gaps. This may be achieved by setting the extension further back to create a larger gap along the front elevations.



5.3.2 Rear extensions

Infilling gaps can harm the appearance of the street scene. In the interests of amenity the extent of a rear extension will generally be restricted to 3 metres [10 feet] in the case of a terraced house and 3.6 metres [11.8 feet] in the case of a semi-detached house.

Furthermore, in order to satisfy daylighting requirements planning permission will not normally be granted for a rear extension of more than single storey extending beyond a line drawn at 45° from the face of an existing adjoining building measured from a point at the side of the lowest part of a window to a habitable room of a neighbouring dwelling.



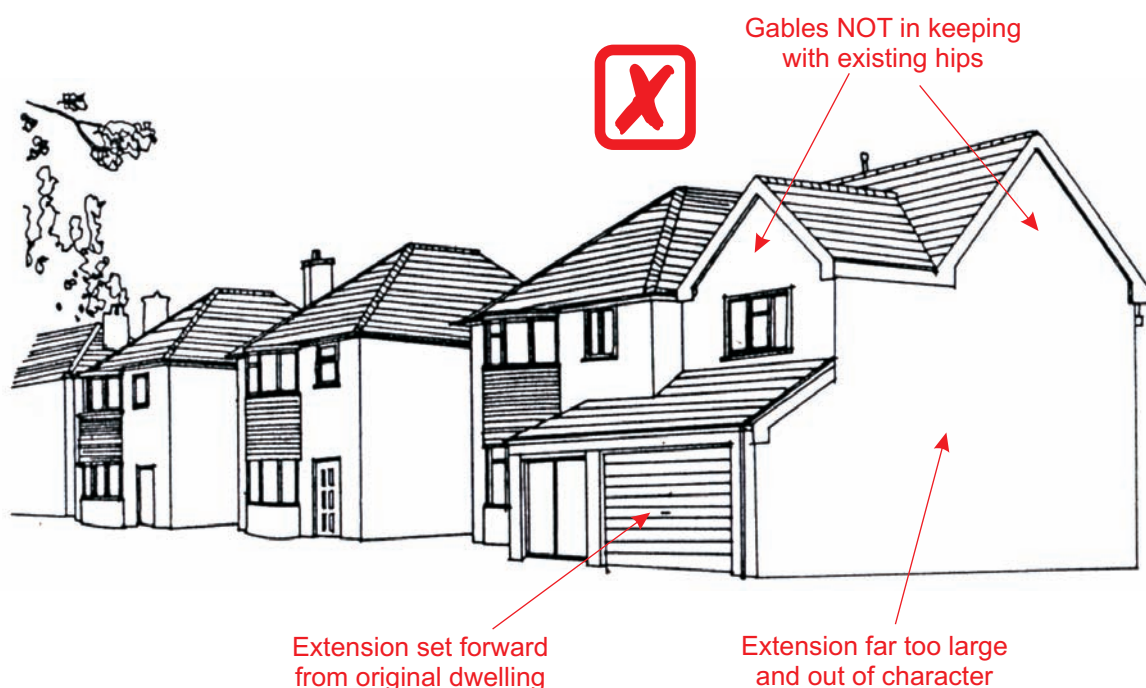
Middle Street

Rear extension out of scale and appalling design detail on rear of 3 storey Victorian terrace

5.3.3 Front extensions

It is the front elevation of a dwelling which is usually the most vulnerable to unsympathetic extension. Generally only small extensions which are in keeping with the character of the existing building will be allowed. Porches are usually acceptable providing they relate in scale and size to the existing dwelling. Where the building has a bay window, porches should be separated from it in order to retain the integrity of the bay.

Similarly any features on the building, such as decorative lintols, should not be partially covered by extensions, - either cover all the feature or leave it wholly exposed. Decorative features, such as projecting brick string courses, corbelling or dentil courses, should be repeated on the extension at the appropriate level.



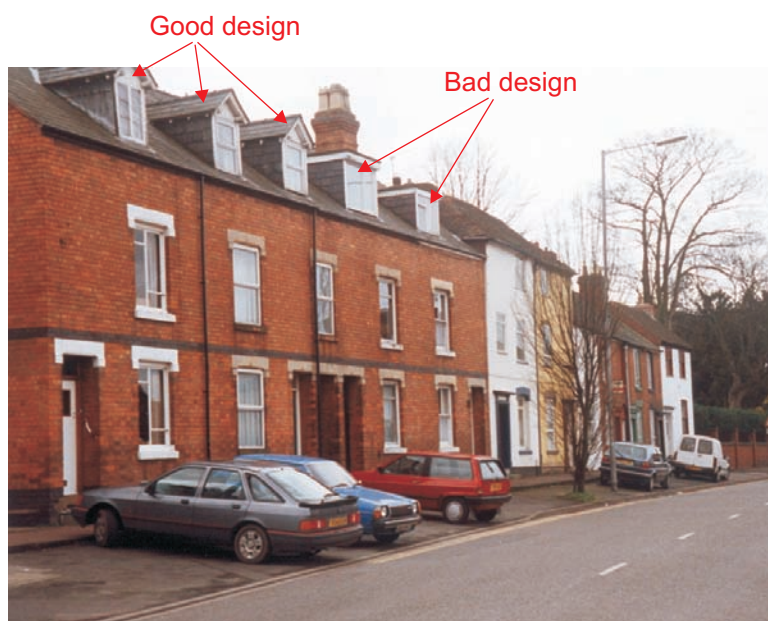
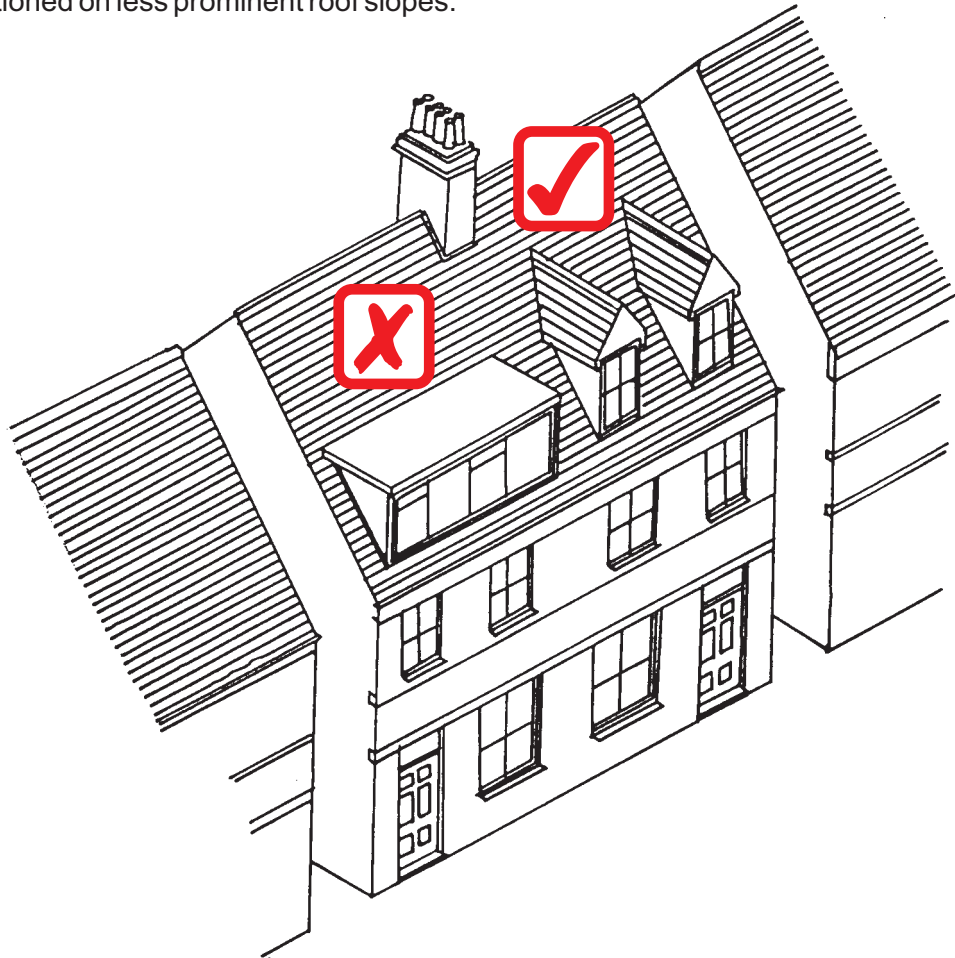
Porch of similar form and materials to house



Porch NOT of similar form and materials to house

5.3.4 Roof extensions

Dormers should generally have pitched roofs, be physically small and set into the roof slope and reflect traditional styles of the locality. Where they are less visible larger additions may be acceptable but over dominant box-like extensions can visually detract from the overall appearance and character of the dwelling. Roof lights should be small and preferably positioned on less prominent roof slopes.

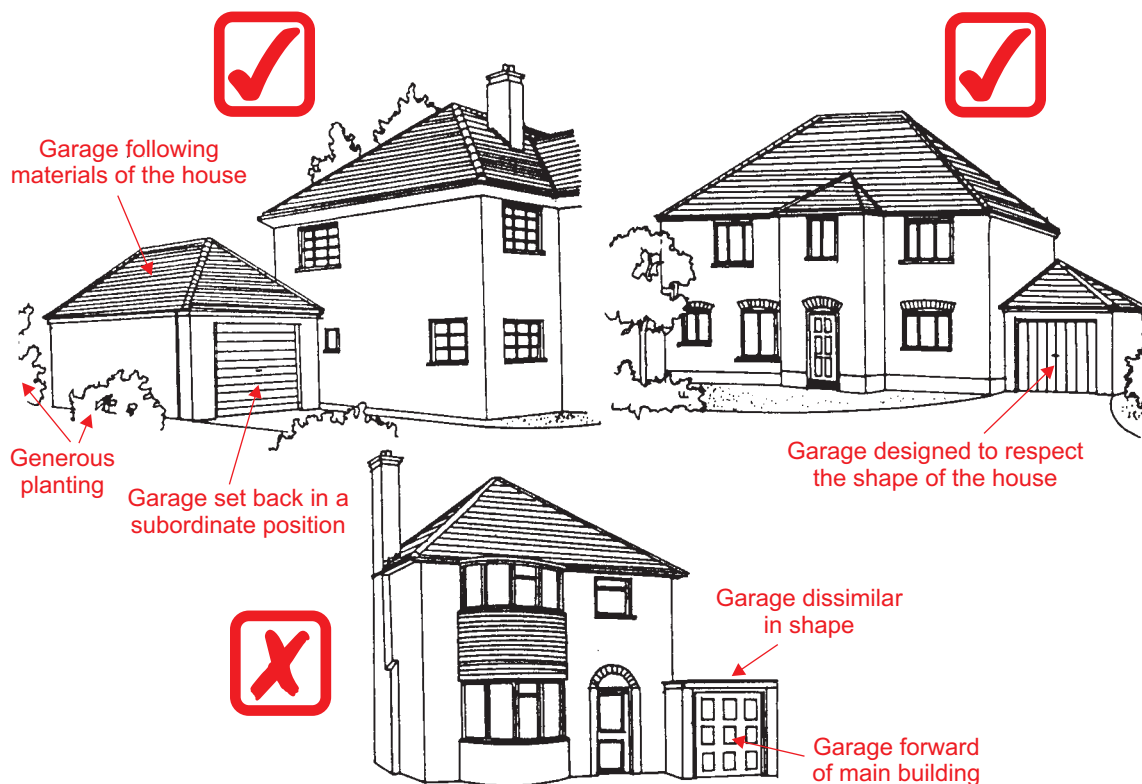


*Mixed dormer-style
on single terrace*

Bransford Road

5.3.5 Extensions to garages

Unless designed as a feature building or to provide a focal point in a layout, garages should not be in prominent locations or dominate the existing house. They must also be set back a minimum of 6 metres [20 feet] from the back of the pavement to allow a car to pull clear of the highway prior to opening the garage door.



Where the standard house type doesn't work!