

# guidance note 2

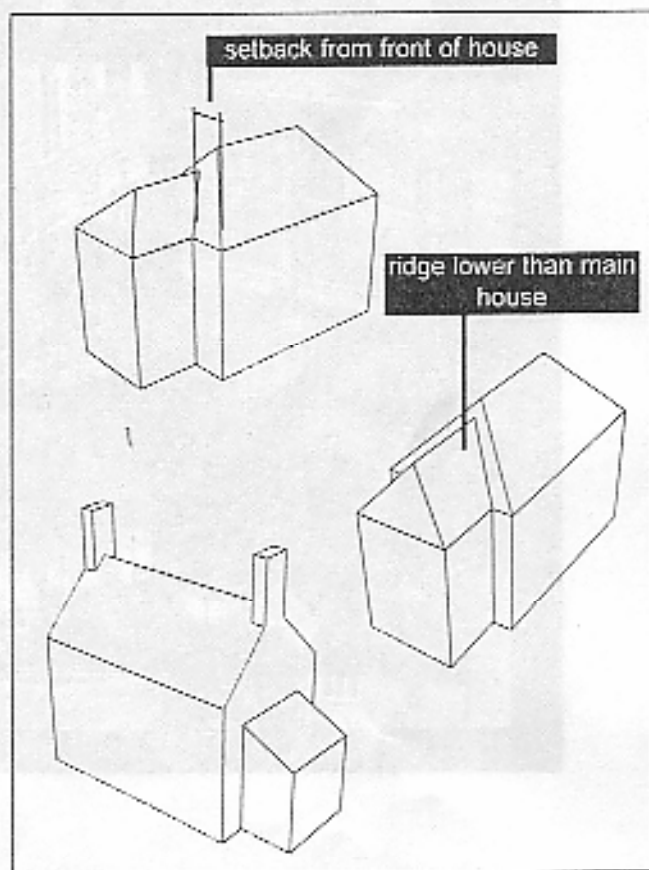
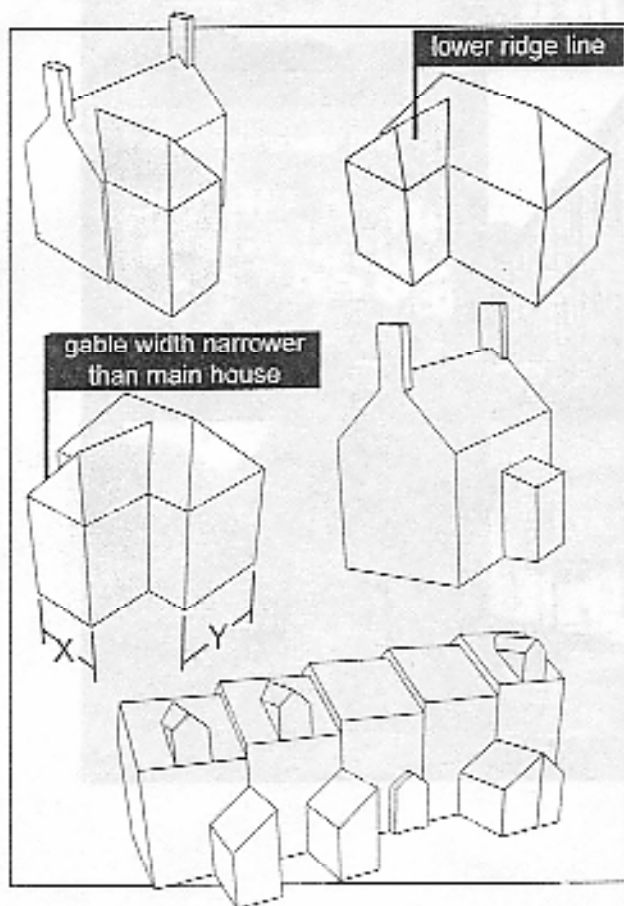
## extensions and conservatories

An extension or conservatory is likely to be the most significant change you will want to make to your Property. If poorly designed, it will affect your property, neighbours and street.

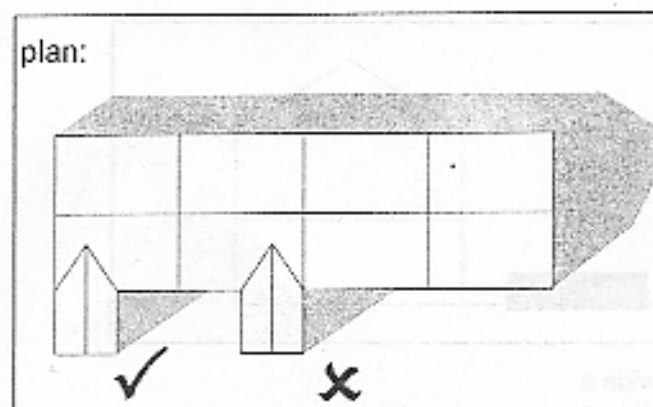
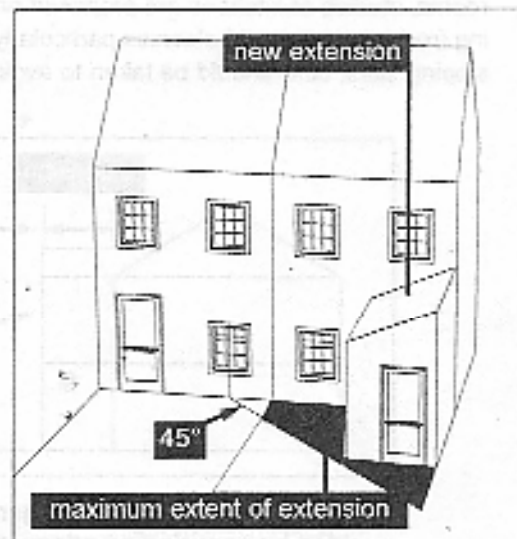
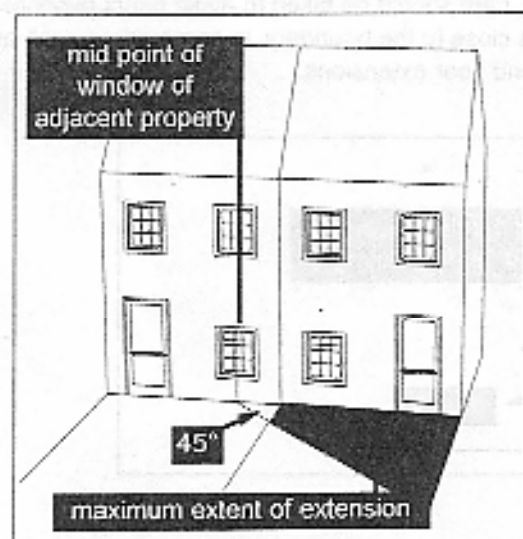
### The size, shape and position of extensions and conservatories:

Key principles to consider when considering the size, shape and position of your extension are set out below. Front extensions will not normally be acceptable except in special circumstances.

- it is important to consider how your extension or conservatory provides for access and parking as set out in guidance note 7.
- the extension or conservatory should not dominate your house. As a general rule all extensions should be smaller than the original property, and with the exception of front porches they should be located to the rear or the side of the property.
- the extension or conservatory should have similar x and y proportions (see diagram below) and the same roof pitch as your house;
- where possible the extension or conservatory should leave a reasonable space around the house and an adequate area of garden;
- on corner plots extensions or conservatories need to respect the street scene and have suitable boundary treatments;
- sometimes neighbours can combine extensions to provide mutual benefits. As shown overleaf



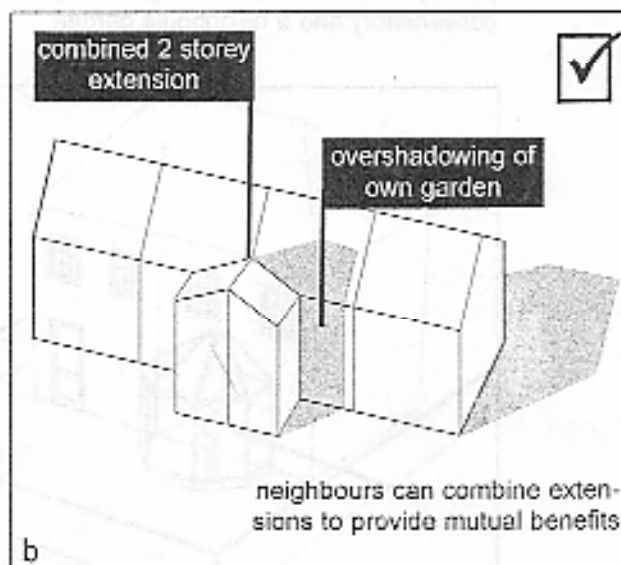
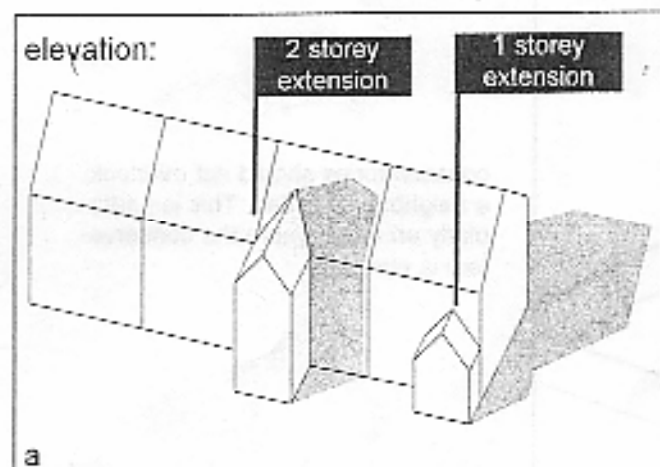
## Avoiding over shadowing adjacent properties:



shadow cast on own property

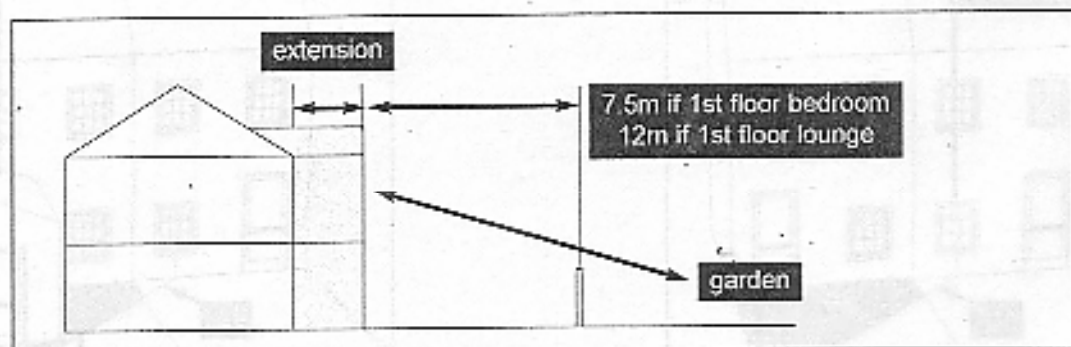
unacceptable overshadowing of neighbour

Extensions and conservatories should not cast large shadows onto neighbours houses or gardens. As a general rule this can be avoided by keeping within a line taken at 45° from the centre of the nearest ground floor window of any principal room in an adjoining property, as shown above. The degree of shadow cast will depend on the aspect of your house.

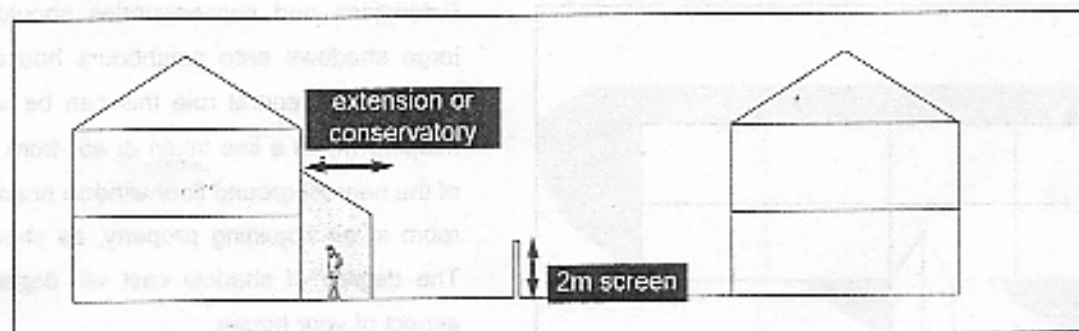


## Privacy and overlooking:

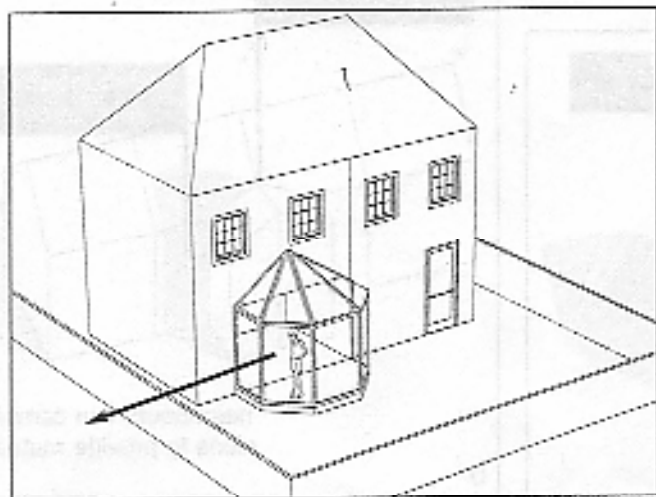
Extensions should not overlook neighbouring houses or gardens. If habitable rooms such as bedrooms, living rooms, studies or kitchens are proposed on the first floor or above, care should be taken to avoid direct overlooking from windows and balconies particularly where the extension is close to the boundary. In some cases such as sloping sites, care should be taken to avoid overlooking from ground floor extensions.



overlooking of a neighbour's garden can be avoided by ensuring an adequate separation distance



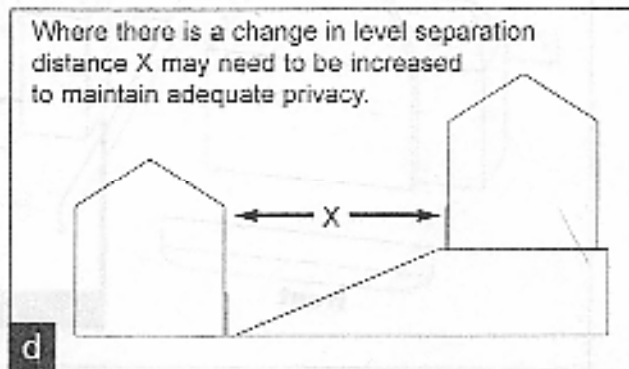
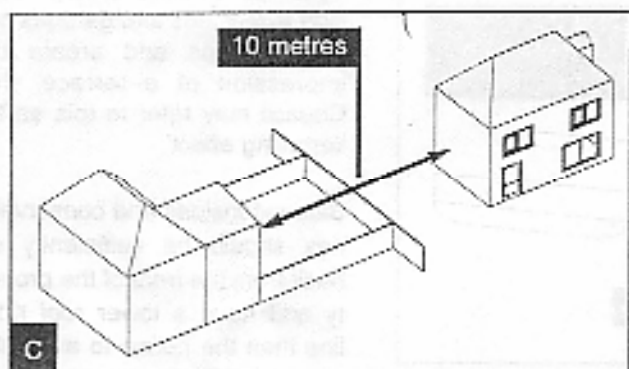
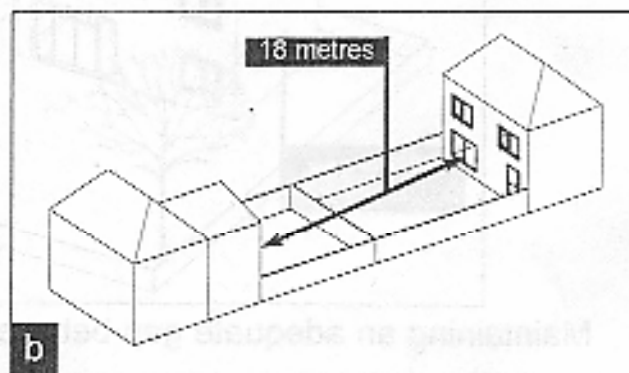
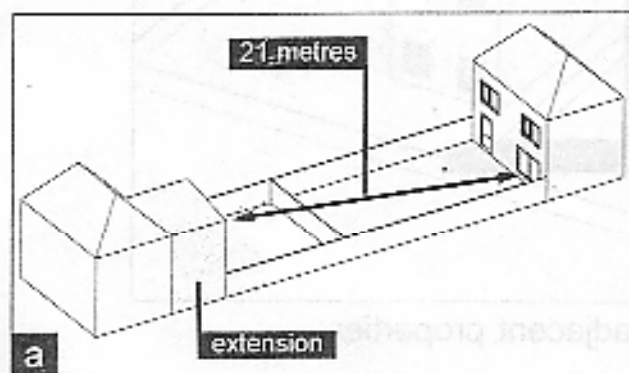
the erection of a 2 metre wall or fence can provide a privacy screen between a single storey extension or conservatory and a neighbour's garden



conservatories should not overlook a neighbour's garden. This is particularly an issue where the conservatory is elevated

## Two storey extensions in a back to back situation:

- Where a proposed window to a lounge, dining room, bedroom or kitchen will directly face a similar window or a neighbouring property the distance between them must be at least 21 metres in a back to back situation. (diagram a below)
- Where direct overlooking of a lounge, dining room, bedroom or kitchen can be avoided by the positioning of the windows then the distance can be a minimum of 18 metres. (diagram b below)
- Where a wall containing windows of a lounge, dining room, bedroom or kitchen overlooks a wall with no windows on an adjacent property the distance must be a minimum of 15 metres. (diagram c below)
- If buildings are at different heights, these minimum distances may need to be increased to maintain adequate privacy. (diagram d below)



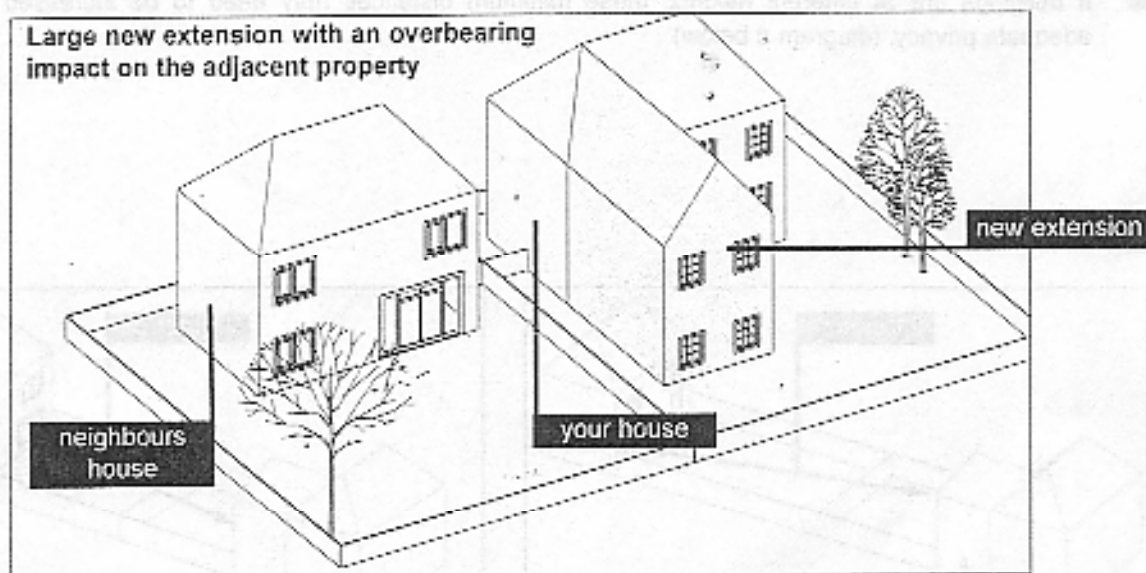


## Single storey extensions:

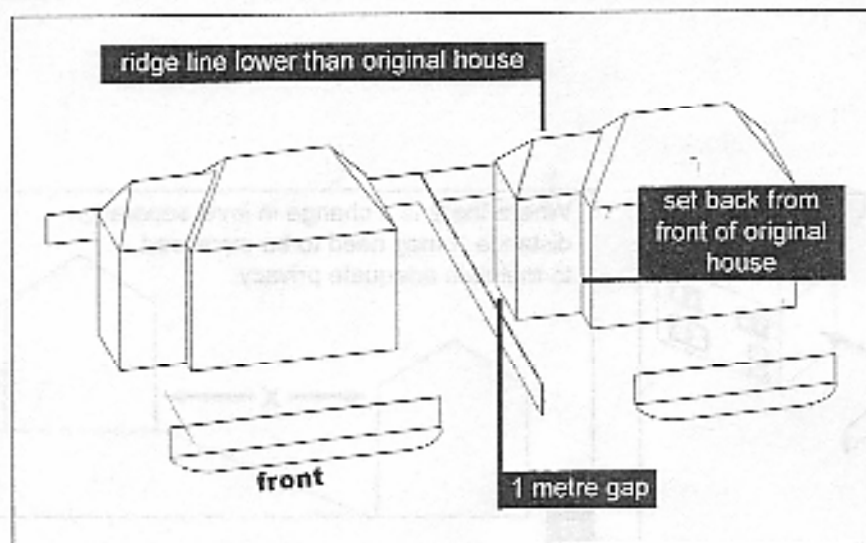
Shorter distances may be acceptable for bungalows, single storey extensions and conservatories depending on the arrangement of the windows and boundary fencing or hedge planting. The planning department will advise you on what is acceptable in your particular circumstances.

## Avoiding 'overbearing'

Extensions and conservatories should not be overbearing to your neighbours. As a general rule, two-storey extensions should not be positioned very close to the boundary adjacent to the garden of a neighbours property. The local Council will advise you if they think your proposals will be overbearing.



## Maintaining an adequate gap between adjacent properties:



side extension set back from the front of house and 1 meter from side boundary.

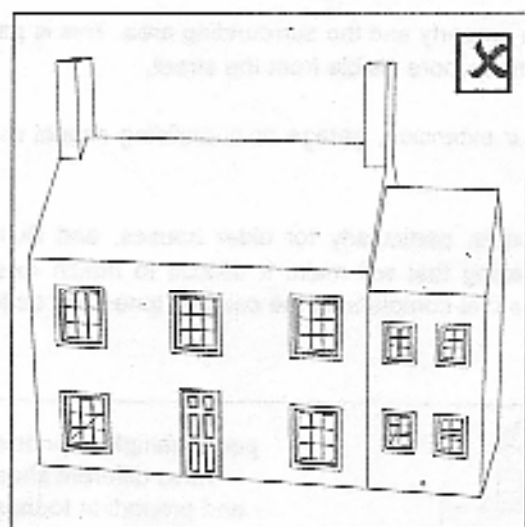
Side extensions and conservatories should leave an adequate gap with adjacent properties. This is particularly important for streets with detached or semi-detached houses where large side extensions and garages can fill the gaps and create the impression of a terrace. The Council may refer to this as the 'terracing effect'.

Side extensions and conservatories should be sufficiently set back from the front of the property and have a lower roof ridge line than the house to avoid this terracing effect.

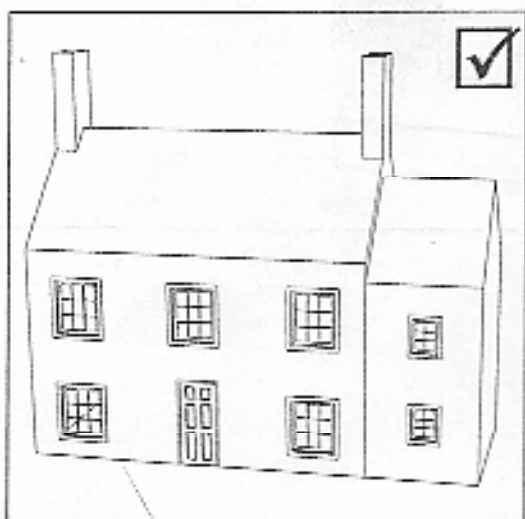
## Windows and doors:

Extensions should have windows and doors that are similar to the house in size, shape, design and proportion. They should also reflect the pattern and arrangement of the windows of the house.

The existing front door and main entrance to the house should be kept unless the Council advises you that an alternative entrance into the extension may be acceptable.

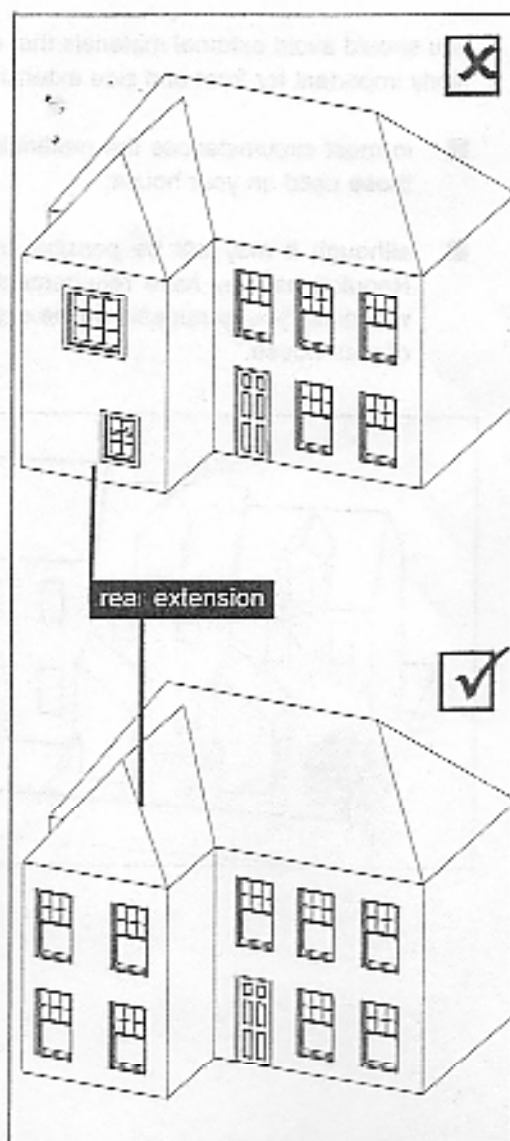


side extension: over-fenestrated



side extension: the ratio of window to wall should reflect the equivalent ratio on the existing building

poor example:  
windows do not  
relate to original  
house



good example:  
windows on  
extension of a  
similar shape  
and size to  
existing house

## Architectural style:

As a general rule, the architectural style of your extension should be the same as your existing house with similar roof details, windows, doors and external materials.

If you think a more contemporary approach to the design might be appropriate, you should discuss this with the Council at an early stage. In either case the Council will want to be sure your proposals will contribute to the quality of the locality.

## Using the right materials

You should avoid external materials that clash with the existing property and the surrounding area. This is particularly important for front and side extensions as these are normally more visible from the street.

- in most circumstances the materials that you use for your extension, garage or outbuilding should match those used on your house;
- although it may not be possible to find matching materials, particularly for older houses, and Building Regulations may have requirements such as double glazing that will make it difficult to match existing windows, your proposals will be expected to use materials that complement the colours, tones and textures of your house.



poor example - windows have different shape and proportion to those used for nearby house